

WARD: Central CONTACT OFFICER: Kayna Tregay
 SITE ADDRESS: Merchants House Wapping Road Bristol BS1 4RW

APPLICATION NO: 18/05677/F Full Planning

DETERMINATION DEADLINE: 21 December 2018

External and internal works, including installation of a roof terrace, recladding elevations, new pedestrian entrance and altered parking provision. (resubmission).

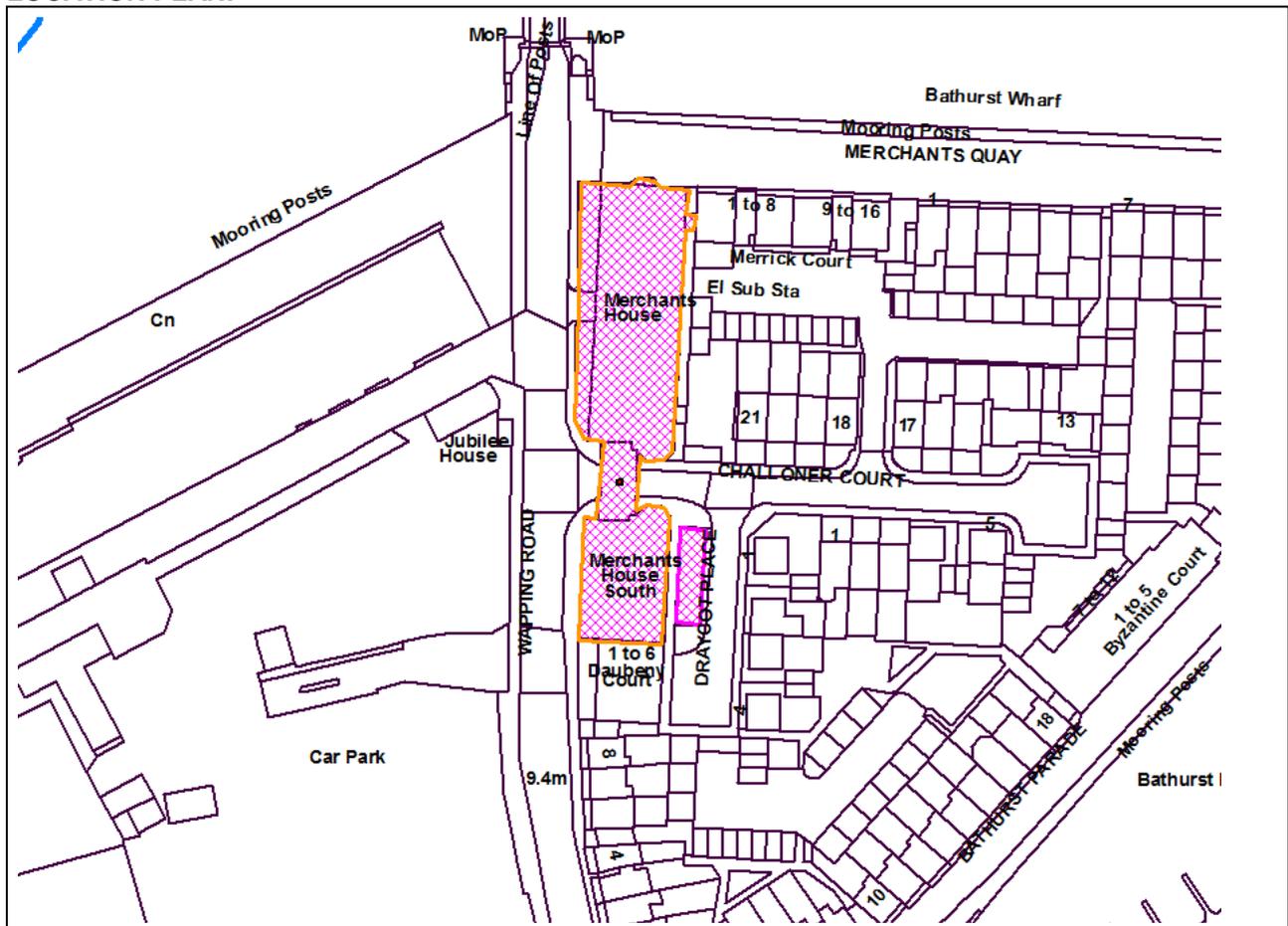
RECOMMENDATION: Refuse

AGENT: CSJ Planning Consultants Ltd
 1 Host Street
 Bristol
 BS1 5BU

APPLICANT: Verve Properties Ltd

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



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SUMMARY

The application is recommended for refusal on two grounds. Councillor Smith has referred it to committee, if it is recommended for refusal. The applicant proposes external alterations to Merchants House, including recladding, replacement windows and the creation of a new entrance.

The proposals would cause harm to heritage assets including the City Docks Conservation Area and the setting of nearby listed buildings. The alterations to the ground floor would also create more of a blank façade, reducing the perception of an active frontage. Serious concerns about the design have been raised by the Conservation Officer, Urban Design Officer, Civic Society and neighbours. It is acknowledged that the building would benefit from refurbishment, but the proposals are not considered to be an appropriate design response to the local context.

In all other respects the proposals are acceptable, but due to the serious impacts on heritage assets and the strong local and national policy framework relating to heritage assets, the proposed design cannot be supported.

SITE DESCRIPTION

The application site is Merchants House. This is a partly four, partly five-storey office building, located on Wapping Road in the Central ward of Bristol and the City Centre. The building is divided into a north block and a south block, which are linked at second and third floor levels. Each block has its own entrance area and car parking on the ground floor. The building is constructed of brick and painted render, with ground floor openings that give a view through to the ground floor car park. Upper floor windows are metal-framed and have horizontal glazing bars.

It is understood that the north block is mainly occupied by tenants, and the south block is currently vacant, with internal refurbishment proposed.

The site lies within the City Docks Conservation Area. Merchants House is identified as a "Neutral Building" in the Conservation Area Character Appraisal. It is within the setting of the City and Queens Square Conservation Area. Further down Wapping Road to the south lie a number of Grade II listed buildings, including the Louisiana Pub. To the north lie listed assets including the Prince Street Bridge. The locally listed M- and L-sheds lie to the west of the site. These are identified as unlisted buildings of merit in the City Docks Conservation Area Character Appraisal. The site lies on a Secondary Pedestrian Route and within the Redcliffe Neighbourhood of the Central Area Plan.

To the west of the site lies Challoner Court, which is a residential area. To the east, on the other side of Wapping Road, lies Wapping Wharf, which is allocated for housing and offices under Site Allocation SA101 of the Bristol Central Area Plan.

PROPOSED DEVELOPMENT

The applicant proposes a number of alterations to the building. The main proposals are as follows:

- Polyester-coated cladding panels with fish-shaped perforations on north and west-facing ground floor facades.
- Creation of new entrance to South block on Wapping Road. This includes a new glazed panel and scarlet-coloured metal surrounds.
- Cladding the South block (whole of front and return facades) and elements of the North

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block (bay window surrounds) with aluminium tiles or shingles in various shades of grey, with a raw anodised finish.

- Stone horizontal cladding panels on linking block (facing Wapping Road).
- Replacement aluminium-framed windows throughout the 'picture frame' box sections to the north and west facades.
- Creation of a roof terrace on linking block. This would be for use by office workers.
- Creation of a mezzanine floor within the south block. New rooflights would serve this. It would create 183.5 m sq of new office space.
- Reconfiguration of the South block ground floor area to include a new cycle store and rear car parking spaces. There would be an overall loss of 4 car parking spaces and an increase of 20 cycle parking spaces.
- Other external changes, including new roof coverings and repainting of rear rendered facades.

It is worth noting that the insertion of the mezzanine floor itself would not require planning permission, although the rooflights which serve it would need permission. No change of use is proposed. The existing and proposed use of the building is B1(a) offices.

The application is a resubmission of application 18/04189/F which was withdrawn following officer concerns about design and heritage. The current application differs from the withdrawn application in the following main ways:

- The previous application proposed fibre cement panels on the link between the North and South buildings. The current application proposes natural stone panels instead of fibre cement.
- The current application includes additional information and justification, including a covering letter and additions to the Heritage Statement.

RELEVANT PLANNING HISTORY

12/02827/F Formation of a new main entrance in front elevation and associated alterations to side elevation to infill former entrance.

Date Closed 23 August 2012 Approved

14/06290/COU Prior approval for the change of use from office floor space within Use Class B1 (a) to residential accommodation falling within Use Class C3 (dwelling houses)

Date Closed 25 February 2015 Prior Approval Given

15/06359/F Replacing the existing aluminium double glazed windows / doors and timber frames with new uPVC windows (116 No.) and doors (14 No.). This application relates to the front (north) and rear (south) elevations of the Merrick Court site.

Date Closed 21 March 2016 Approved (adjacent site)

16/02515/COU Prior approval of a proposed change of use of a building from offices (Use Class B1) to a use falling within Use Class C3 (Dwellinghouses).

Date Closed 4 July 2016 Prior Approval Given

18/04189/F External and internal works including installation of a roof terrace, recladding elevations, new pedestrian entrance and altered parking provision.

Date Closed 27 September 2018 Withdrawn

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RESPONSE TO PUBLICITY AND CONSULTATION

a) External comments

- 4 objections were received (including an objection from Bristol Civic Society).
- 2 representations of support were received.
- 1 neutral comment was received.

Objections are summarised as follows:

- The proposals do not add character to the area or complement the surrounding buildings.
- The proposals are not consistent with the goals set out at the beginning of the design statement.
- The graded grey colouration of the south block is not appropriate. It is not consistent with the existing colour scheme of the building.
- The proposed aluminium shingles are inappropriate and do not raise the standard of design.
- The fish-shaped perforations are not in character with the conservation area.
- The proposed window surrounds do not preserve or enhance the character of the conservation area.
- Graffiti is a concern in the harbourside area. Materials on the ground floor should be resistant to graffiti.
- There is a narrow alleyway running along the rear of Merchants House North. This is used for smoking, drug-taking, urinating, littering and other anti-social behaviour. A 'residents only' gated entrance at both ends of the alleyway would help to prevent such activity. This should be added into the proposals.
- There are concerns that the proposed roof terrace could result in overlooking and the throwing of cigarette ends into neighbouring properties.

Bristol Civic Society's comments (objection) are set out in full below:

"Bristol Civic Society has met the applicant's agents since objecting to the earlier application for this building ref: 18/04189/F. The Society understands the applicant's aims for the use of the premises. However, whilst we welcome the proposed changes to the appearance of the bridge linking the two buildings, we maintain the other concerns that we raised. These are copied below for ease of reference.

Comments submitted to 18/04189/F.

Bristol Civic Society's issues relate to the proposed recladding and new fenestration. The proposed fish scale cladding and the fish shaped perforations for the car park screen, although interesting in themselves, do not rest easily with the character of the Conservation Area. The Society also feels that the proposed box surroundings for the windows do not preserve or enhance the character of the Conservation Area. We would also suggest reconsideration of the proposed bridge revisions could produce a design more suited to the building and its context."

Supporting comments are summarised as follows:

- There is general support for the refurbishment of the building as long as the design is appropriate.
- The opportunity should be taken to add gates to the rear alleyway.

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b) Internal comments

Bristol City Council's Conservation Officer made written comments which are as follows:

"Heritage Assets impacted upon by proposed development:

- City Docks Conservation Area
- Setting of City and Queen Square Conservation Area
- Grade II Listed assets to the south on Wapping Road
- Grade II Listed Prince Street swing bridge and accumulator tower,
- Grade II Listed Quay Wall and Bollards
- Locally Listed M and L-sheds

The existing Merchant's Quay and Wapping Road development has a strong and unified character derived from the Grade II Listed Georgian properties to its southern corner, including the Louisiana Pub. The classical Georgian proportions are consistent through the street facades along Wapping Road and there is a strong vertical rhythm in the principal facades inspired by the Georgian terraces. The use of traditional materials and mansard style roofs complete the illusion. The north block maintains the classical vocabulary and cleverly adds industrial warehouse character through additional height, massing and "grain elevators" in the form of the projecting bays; this is achieved without loss of the overriding classical rhythms and proportions.

The proposals would seriously harm the prevailing character of this part of the Conservation Area and, through the loss of traditional details, proportions and materiality. The proposals would create a strongly horizontal element into the traditional vertical rhythms of the street which would appear incongruous.

The proposed materials are entirely out of keeping with the character of the Conservation Area and are not appropriate. The proposed aluminium scales, whilst whimsical, are incongruous in this setting. The proposed new materials will be seen in direct views from the south including the terrace of Georgian buildings from which the current aesthetic is derived. There will be a significant degree of harm posed to the setting of the Listed Buildings where the new flanking elevation will be highly visible and incongruous.

The intended loss of podium level fenestration to the car park at ground floor level will harm the proportions and rhythm and the proposed replacement appears intimidating and without regard to the industrial or classical character of the Conservation Area.

The proposals fail to preserve or enhance the character of the designated Conservation Area as a heritage asset, and are considered to pose a high degree of less-than-substantial harm to its special character. The application fails to conform to National Planning Policy Framework requirements to place "great weight" in the conservation of heritage assets. Local planning policies do not support the application or the harm it poses to the Conservation Area, Listed, and Locally Listed buildings surrounding the site."

Bristol City Council's Urban Design officer made written comments which are as follows:

"As rightly pointed out in the DAS, the current elevations are not of distinguishing architectural quality and appear dated. There is certainly an opportunity to refresh the appearance of the building. However the site is located with City Docks Conservation Area with number of Listed Buildings within its vicinity. Further, key cultural landmarks for the city such as the M-Shed and the cranes along the Floating Harbour and the Floating Harbour itself adorn the immediate surrounding. While the buildings occupy a prominent location and are of considerable dimensions, they perform the role of background buildings within the context of the City and the locality. It is therefore important the scheme for re-cladding presents a high quality and restrained design which is in

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keeping with the character of the conservation, listed buildings and cultural destinations.

The current design does not address the fundamental principal and is therefore not supportable from urban design and conservation point of view. The overall proposal seems to lack appreciation of scale and grain which is reflected in overall design composition as well as choice and articulation of individual materials.

The use of anodised aluminium shingles covering the rendered elements, cladding of ground floor with fish shaped cut-outs do not represent the characteristics of the conservation area.

Natural and quality materials are recommended to be used in conservation areas.

The picture frame windows does not cause in principle concerns but it will be important resolve its design, proportions and details at an early stage.

A contextually sensitive design proposal which:

- supports the role of the building within the context,
- improves the perception of active ground floor frontage,
- presents a clear hierarchy of elevation (base, middle and top), and
- deliver appropriate high quality natural materials which will age well

is sought for the proposed site. There may be opportunity for simple and elegantly designed features like well-designed window frames/reveals, design of the entrances to play a central role in enhancing the appearance of the building."

Bristol City Council's Transport Development Management (TDM) Officer commented that the proposal will only generate a minimal increase in vehicle movements. The loss of parking is acceptable when taking into account the site's location. The new cycle store is considered to be secure and the use of Sheffield Stands is acceptable. Finally the waste collection process set out in the Design and Access Statement will need to be formulised if permission were to be granted.

Bristol City Council's Nature Conservation Officer raised no objections and recommended a condition and advice notes if the application is approved.

Bristol City Council's Pollution Control Officer had no objection and recommended conditions relating to the management of the roof terrace, should the application be approved.

RELEVANT POLICIES

National Planning Policy Framework – July 2018

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocation and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2015.

City Docks Conservation Character Appraisal (2011)

City and Queen Square Conservation Area Character Appraisal (2009)

Planning (Listed Building and Conservation Area) Act 1990

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

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KEY ISSUES

1. Design and heritage

The assessment below draws upon the comments from the Conservation Officer and Urban Design Officer set out above. To avoid repetition, comments are not repeated in full, but key themes and issues are drawn out, with reference to key sections of the relevant policy.

a) Legislation and policy context

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. The Authority is also required (under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990) to pay special regard to the desirability of preserving or enhancing the character or appearance of the area.

Section 16 of the national guidance within the National Planning Policy Framework (NPPF) 2018 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation, with any harm or loss requiring clear and convincing justification. Paragraph 189 of the NPPF requires LPAs to identify and assess the particular significance of any heritage asset that may be affected by a proposal and take this into account when considering the impact of a proposal on a heritage asset. Paragraph 196 of the NPPF states that any less-than-substantial harm to the significance of designated heritage assets should be weighed against the public benefits of the proposal, including securing the optimum viable use.

In addition, the adopted Bristol Core Strategy 2011 within Policy BCS22 and the adopted Site Allocations and Development Management Policies within Policy DM31 seeking to ensure that development proposals safeguard or enhance heritage assets in the city. Policy DM26 states that new development should contribute positively towards local character and distinctiveness and reflect locally characteristic architectural styles, rhythms, patterns, features and themes, as well as predominant materials and textures.

b) Significance of heritage assets

As set out above, the NPPF requires the significance of heritage assets to be understood, including any contribution made by their setting. The relevant heritage assets are:

- City Docks Conservation Area
- Setting of City and Queen Square Conservation Area
- Grade II Listed assets to the south on Wapping Road
- Grade II Listed Prince Street swing bridge and accumulator tower,
- Grade II Listed Quay Wall and Bollards
- Locally Listed M and L-sheds

The significance of the heritage asset that may be affected is therefore derived from the following:

City Docks Conservation Area: As set out by the Conservation officer, this part of the conservation area has a strong and unified character derived by the Grade II listed properties on the southern part of Wapping Road. Merchants House maintains this "classical vocabulary" and provides architectural continuity through its proportions, detailing and materials, as set out in the

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Conservation officer's comments. Hence, it does have architectural value, contrary to the assertion set out in the applicant's Heritage Statement. The Conservation Area Character Appraisal states that the quality of late Georgian buildings is a strength of this part of the conservation area. This part of the conservation area also has an industrial heritage and character derived from local landmarks such as the cranes on the floating harbour (identified as landmarks in the Conservation Area Character Appraisal) and the M- and L-Sheds. Merchants House performs the role of a background building with a restrained character against which these landmarks can be seen and appreciated.

City and Queen Square Conservation Area: The waterside areas of this Conservation Area also have an industrial character, with high quality historic materials, such as cobbled surfaces and quayside features.

Grade II listed assets to the south on Wapping Road, including the Louisiana Pub: As above, the significance of these buildings is derived from their classical proportions and natural materials. The design of these listed buildings informed and influenced the design of Merchants House, as set out above.

Other listed assets, including the Prince Street Bridge, Accumulator tower and Quay Walls and bollards: The significance of these is derived from their industrial heritage and the industrial character of their materials and detailing.

Locally-listed assets including M- and L-Sheds: These derive their significance from their industrial character and heritage.

c) Impact of the proposed development

As set out in the comments from the Conservation Officer above, the proposals would result in the loss of traditional details, proportions and verticality. The proposals to clad the South block of Merchants House with aluminium shingles would result in the loss of the vertical rhythms, creating instead an incongruous horizontal element. The loss of the podium level fenestration (proposed to be replaced with polyester-clad panels with fish-shaped perforations) exacerbates this loss. The proposed materials are incongruous in the context of the setting of the listed assets and character of the conservation areas. The aluminium shingles proposed for both the north and south blocks would appear overly reflective and contrived, which would be at odds with the restrained character and function of the building as a backdrop to the listed assets and cultural landmarks in this part of the docks. The aluminium shingles and ground level panels are not in keeping with the industrial and historic character of the conservation area and neighbouring conservation area. The loss of the sash-style windows contributes to the loss of character. The red surround of the entrance would be visually intrusive and overly dominant. The natural stone cladding is an acceptable choice of material and an improvement on the fibre cement panels previously proposed. However, its inclusion does not compensate or mitigate for the harm proposed by the other materials.

The proposals would be seen in direct views from the south towards the Wapping Road listed buildings, Prince Street Bridge, Accumulator tower and Quay Walls, bollards, the M- and L-sheds and the City and Queen Square Conservation Area beyond. They would also be seen in views from the north towards the cranes, M- and L-sheds, the Prince Street Bridge and the group of Georgian buildings which includes the Louisiana pub. The proposals would therefore harm the setting of the listed and unlisted assets, as well as the setting of the City and Queen Square Conservation Area. Setting is defined as the area in which an asset is experienced. The character of the City Docks conservation area would also be harmed.

The harm is considered to be less-than-substantial to the conservation area, the setting of the adjacent conservation area and the setting of the listed buildings, as defined in the NPPF. The NPPF requires great weight to be placed in the conservation of heritage assets, regardless of

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whether any potential harm would result in less-than-substantial harm, substantial harm or total loss (para. 193).

d) Is the impact of the proposed works (harm/loss of significance) justified or outweighed by public benefit as defined by the NPPF?

With reference to paragraph 196 of the NPPF, it must be considered whether the less-than-substantial harm is justified and outweighed by public benefits. The provisions of policy DM31 also must be considered (bullet points i-iv of the policy under the heading "conserving heritage assets").

The public benefits of the proposals include:

- Increase in cycle parking (20 new spaces).
- Increased office floorspace (183.5 m sq additional space created, which is approximately a 3% increase within Merchants House).

The applicants have stated that potential incoming tenants (likely to be young companies) would not want a "dated soulless building". Officers accept that the building would benefit from some external refurbishment. However, the currently proposed design is not considered the right approach in this context. The above benefits and the refurbishment of the building could be achieved using a different choice of materials and design. Furthermore, the internal refurbishment of the building and addition of the new mezzanine floor could be done without the need for planning permission. Hence, the optimum viable use could be achieved without harming heritage assets, through a different design approach. Officers have explained to the applicant that there is scope for some form of change to the building and would be willing to work with the applicant on future design proposals.

The applicant's covering letter and Design and Access Statement refers to modern materials and contemporary design approaches used in other areas of Wapping Wharf. Officers acknowledge this. For example, as shown within the applicant's Design and Access Statement, the Wapping Wharf area includes a number of restaurants and other small businesses housed within containers, some of which are a vibrant blue in colour (known as Cargo 2). These are appropriate in the industrial context of that part of the harbourside area, but would not be appropriate in more close proximity to the listed classical Georgian buildings on Wapping Road; the context is different. Furthermore, the cargo units are temporary. The residential element of Wapping Wharf that has already been constructed is otherwise predominantly of natural materials, such as brick. The area on the opposite side of Wapping Road to Merchants House benefits from a number of permissions, but again these all include designs that are appropriate to the context of the area. A recent permission for "Cargo Work" includes some modern materials and use of containers (18/02899/M). Those proposals were justified on the basis that they were set within a listed wall and hence the prominent element of the proposals within the streetscene would be the gaol wall, rather than the modern materials of the containers.

Overall, the impact of the proposed works is not considered to be acceptably justified and the public benefits are not considered to outweigh the harm posed to heritage assets and their settings.

e) Conclusions

The development would appear incongruous and out of character with the appearance of the surrounding area due to: harmful loss of traditional details, proportions and materiality; introduction of new inappropriate materials; and creation of a discordant horizontal element within the traditional vertical rhythms of the street. For these reasons, the proposal would not preserve or enhance the special character and appearance of the City Docks Conservation Area and the setting of the City and Queen Square Conservation Area and would harm the setting of surrounding listed buildings, locally listed buildings and local landmarks, including: the Grade II listed assets on Wapping Road,

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Prince Street Bridge, Accumulator Tower, Quay Walls and bollards; M and L-Sheds; and cranes on the floating harbour. For these reasons, the proposals are contrary to policies BCS21 and BCS22 of the Bristol Local Plan Core Strategy (2011), policies DM26 and DM31 of the Bristol Local Plan - Site Allocations and Development management Policies (2014) and Section 16 of the National Planning Policy Framework.

2. Loss of active frontage

Policy BCAP30 states that development that would harm the amenity of secondary pedestrian routes will not be permitted. Policy BCAP31 states that active frontages will be expected in all locations in the city centre facing the existing public realm. Policy BCAP32 states that development on or adjacent to designated Quayside Walkways will be expected to have active frontages onto the walkway. Policy BCAP47 (The Approach to Redcliffe) of the Central Area Plan states that in south and west Redcliffe, secondary pedestrian routes should be enhanced. Policy DM27 states that development should enable active frontages to the public realm.

Wapping Road is a defined secondary pedestrian route. The applicant's proposals include the replacement of the ground floor openings along Wapping Road with full-height polyester-coated metal panels with fish-shaped perforations. The applicant's Design and Access Statement describes the existing ground floor openings as "prison like grilles". Officers consider that this is an overly-dramatic description. The openings do indeed have bars, but these are a security measure, which allow ventilation to the car parks on the ground floor. The openings also appropriately continue the vertically-aligned fenestration pattern and provide a perception of an active frontage. They allow views through to the car park and give an illusion of ground floor windows. The proposed panels would remove this. The fish-shaped perforations would allow continued ventilation, but the semblance of an active frontage and the illusion of windows would be lost. The full-height panels will appear more 'blank' than the current situation and would reduce the active feeling currently provided by the existing openings. For these reasons, the proposals are considered to reduce the sense of active frontage and harm the amenity of the secondary pedestrian route. The proposals are therefore contrary to policies BCAP30, BCAP31 and DM27. The Quayside Walkway on the north elevation is already adjacent to a blank wall, so there is no conflict with policy BCAP32.

3. Amenity

Neighbours have raised concerns about overlooking and disturbance from the proposed terrace. The proposed terrace is located approximately 20m from the nearest property. Due to this separation distance, overlooking is not considered to be of concern. The proposed terrace would only be used by office workers during commercial hours. Therefore, there would be no use of the terrace during evening and weekend hours. Overall, it is not considered that use of the terrace would lead to any impacts on neighbouring amenity that would warrant refusal of the application (subject to conditions securing appropriate management of the terrace and limiting its hours of use to commercial hours only).

4. Other matters

Neighbours have raised concerns about antisocial behaviour currently taking place in the alleyway between Merchants House and neighbouring properties. Neighbours have suggested that gates should be added for the use of residents only. The issues of antisocial behaviour are acknowledged. However, there are no proposals for changes to the rear of Merchants House which could reasonably be expected to exacerbate issues of antisocial behaviour. It is therefore not reasonable to expect the applicants to install pedestrian-only gates or any other similar measures.

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Neighbours have raised concern about graffiti in the area. The current white rendered walls are probably more prone to graffiti than the proposed ground level panels, but this alone is not a reason to approve the application.

CONCLUSION:

Recommended for refusal on two grounds relating to: harm to heritage assets and their settings; and loss of active frontage and associated harm to the amenity of a secondary pedestrian route.

NOTE ON THE FALL-BACK POSITION

The applicant has referenced a number of fall-back positions, which include works that could be undertaken under permitted development (such as painting the facades), or the implementation of consented changes of use (see planning history above). The fall-back position has been considered and given appropriate weight, but the officer assessment as set out above remains. Painting of the facades would not result in any harm to heritage assets or loss of active frontage and so is considered a more sensitive solution in design terms than the current application. The implementation of approval 16/02515/COU to change the offices to residential (under the Prior Approval route) would not be ideal, since it would not include any provision for affordable housing and there are many aspects of the scheme that could not be controlled. It is noted that any external alterations required to facilitate this change of use would require the necessary additional planning permissions. However, that approval only refers to the South Block and furthermore, the harm posed by the current proposals to heritage assets is considered to outweigh the disadvantages of the fallback position.

COMMUNITY INFRASTRUCTURE LEVY

How much Community Infrastructure Levy (CIL) would this development be required to pay?

Development of less than 100 square metres of new build that does not result in the creation of a new dwelling; development of buildings that people do not normally go into, and conversions of buildings in lawful use, are exempt from CIL. This application falls into one of these categories and therefore no CIL would be payable.

RECOMMENDED REFUSE

The following reason(s) for refusal are associated with this decision:

Reason(s)

1. The development would appear incongruous and out of character with the appearance of the surrounding area due to: harmful loss of traditional details, proportions and materiality; introduction of new inappropriate materials; and creation of a discordant horizontal element within the traditional vertical rhythms of the street. For these reasons, the proposal would not preserve or enhance the special character and appearance of the City Docks Conservation Area and the setting of the City and Queen Square Conservation Area and would harm the setting of surrounding listed buildings, locally listed buildings and local landmarks. For these reasons, the proposals are contrary to policies BCS21 and BCS22 of the Bristol Local Plan Core Strategy (2011), policies DM26 and DM31 of the Bristol Local Plan - Site Allocations and Development management Policies (2014) and Section 16 of the National Planning Policy Framework.

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2. The proposed loss of podium level fenestration reduces the perception of an active ground floor frontage. This would harm the amenity of the secondary pedestrian route. For these reasons, the proposals would be contrary to: Policy BCS21 of the Bristol Development Framework Core Strategy, Policy DM27 of the Bristol Local Plan Site Allocations and Development Management Policies (2014); and Policies BCAP30 and BCAP31 of the Bristol Central Area Plan (2014).

Advice(s)

1. Refused Applications Deposited Plans/Documents

The plans that were formally considered as part of the above application are as follows:-

4945IN00A Proposed block plan, received 26 October 2018
4945DE01A Proposed site plan, received 26 October 2018
4945DE02B Proposed floor plans - sheet 1, received 26 October 2018
4945DE03B Proposed floor plan - sheet 2, received 26 October 2018
4945DE04B North and south block, received 26 October 2018
4945DE05B South block ground floor plan, received 26 October 2018
4945DE06A South block first floor plan, received 26 October 2018
4945DE07A Existing/proposed south block second floor plan, received 26 October 2018
4945DE08A Existing /proposed south block - third floor plan, received 26 October 2018
4945DE09A Existing/proposed south block - fourth floor plan, received 26 October 2018
4945DE10B Existing/proposed south block deck floor plan, received 26 October 2018
4945DE11B South block roof plan, received 26 October 2018
4945DE12C Front elevations, received 26 October 2018
4945DE13A Rear elevation, received 26 October 2018
4945DE14A Existing/proposed cross section, received 26 October 2018

Supporting Documents

5. Merchants House, Wapping Road, Bristol

1. 101A Location plan
2. 02B Proposed floor plans 01
3. 03B Proposed floor plans 02
4. 04B Proposed elevations
5. 103A Existing floor plans 01
6. 104A Existing floor plans 02
7. Visualisation from Wapping Road South
8. Visualisation of North block entrance
9. Visualisation of South block



Preliminary

Bellborough Ltd / Verve Properties
Merchants House, Bristol
 Wapping Road, BS1 4RW
 Location Plan

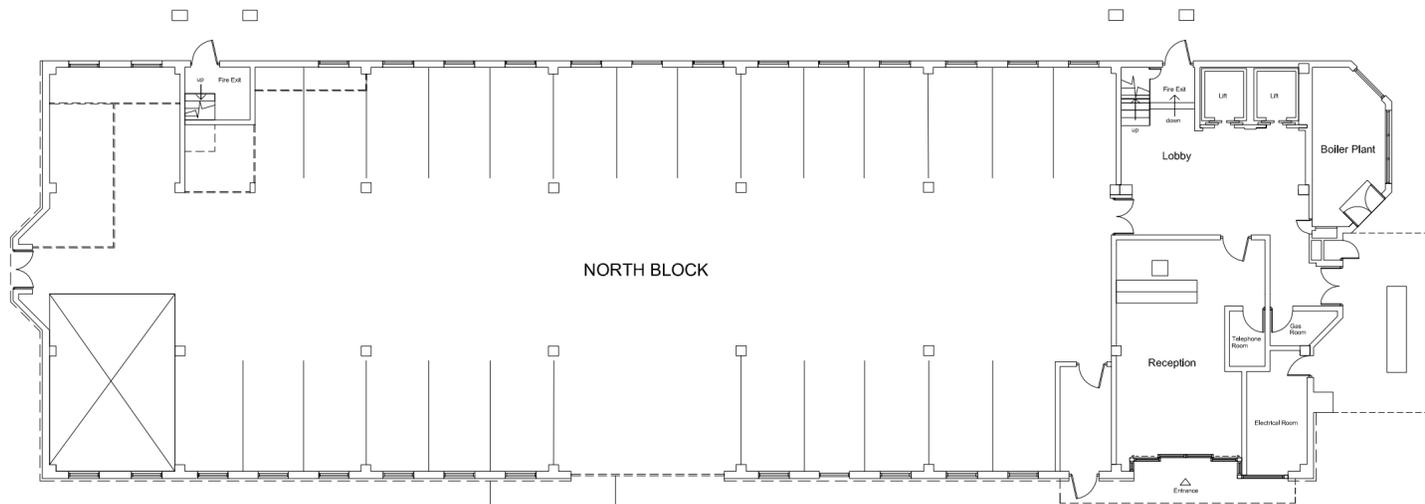
Drawn: EE Authorised:

Scale: 1:1250 @ A4 Date: Apr 2018

4945	IN	101	Rev: A
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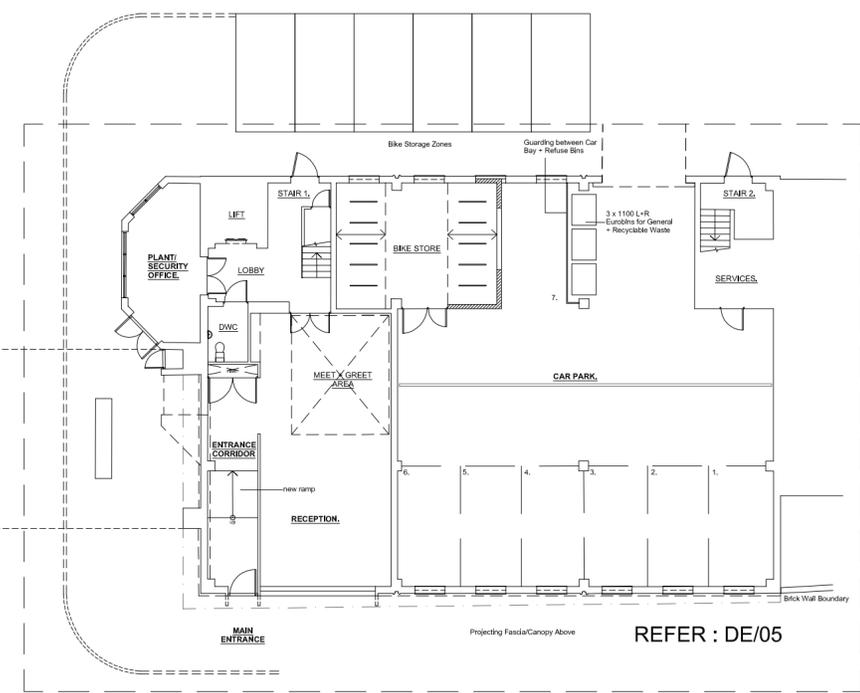
Environments that work



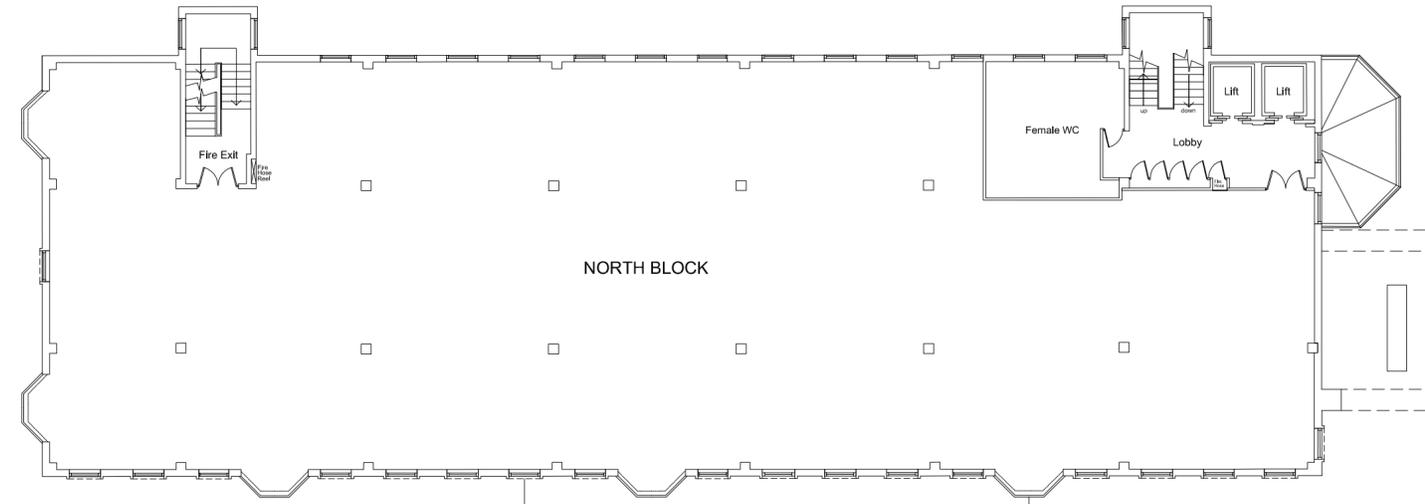
GROUND FLOOR PLAN

NORTH BLOCK

Car Park shutter repainted Dark Grey
 Referred P.C. Aluminium cladding panels continue from the South Block



REFER : DE/05

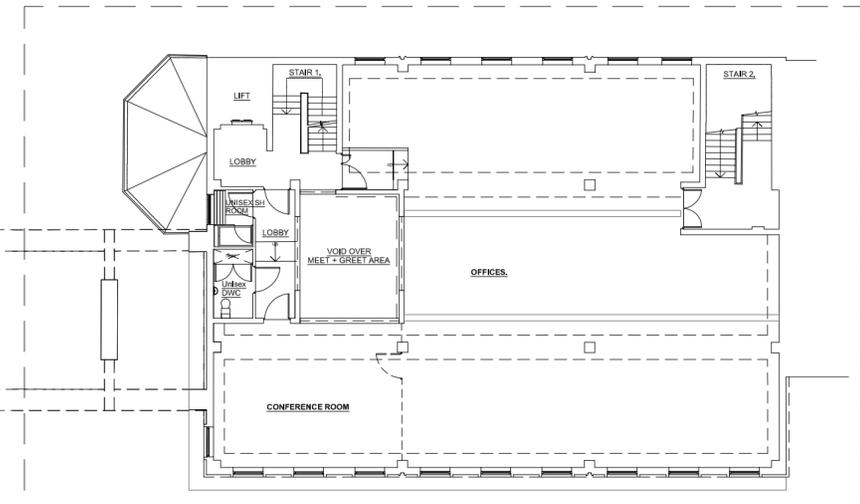


FIRST FLOOR PLAN

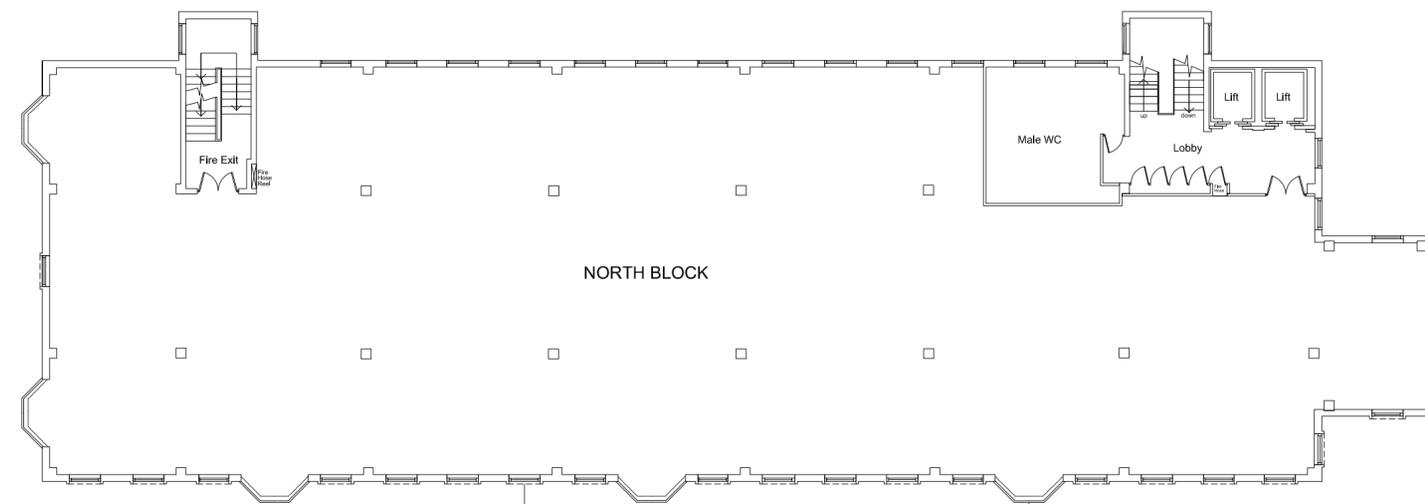
NORTH BLOCK

All windows facing West and North have 'picture frame' box sections to mimic proposals for the South Block

Bay Window glazing replaced with P.C. aluminium tiles at floor level as shown on elevations



REFER : DE/06

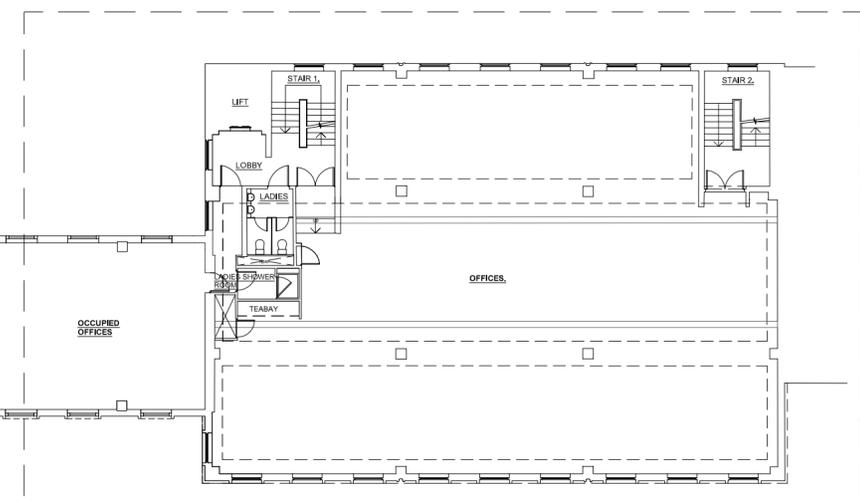


SECOND FLOOR PLAN

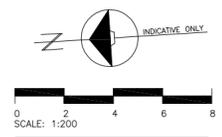
NORTH BLOCK

All windows facing West and North have 'picture frame' box sections to mimic proposals for the South Block

Bay Window glazing replaced with P.C. aluminium tiles at floor level as shown on elevations



REFER : DE/07



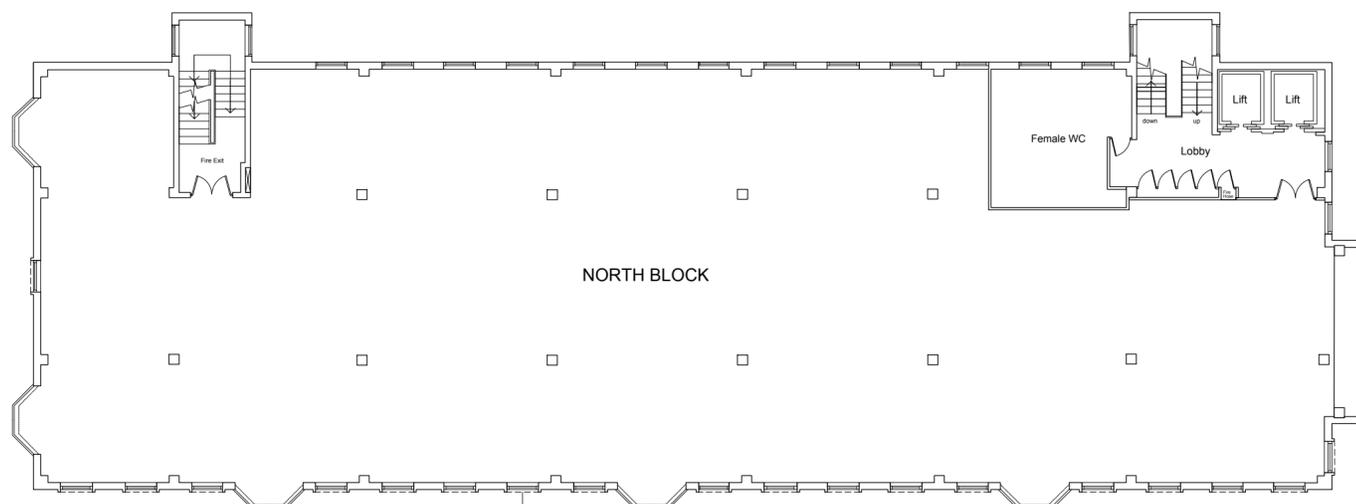
Planning

Bellborough Ltd / Verve Properties
 Merchants House, Bristol
 Wapping Road, BS1 4RW
 Proposed Floor Plans - Sheet 1
 Drawn: JWL
 Date: 29 Jun, 2018

4945	DE	02	B
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 Tel: 01252 504 5111
 Fax: 01252 8026 1779
 email: info@tockleyandfoster.com
 www.tockleyandfoster.com

Environments that work

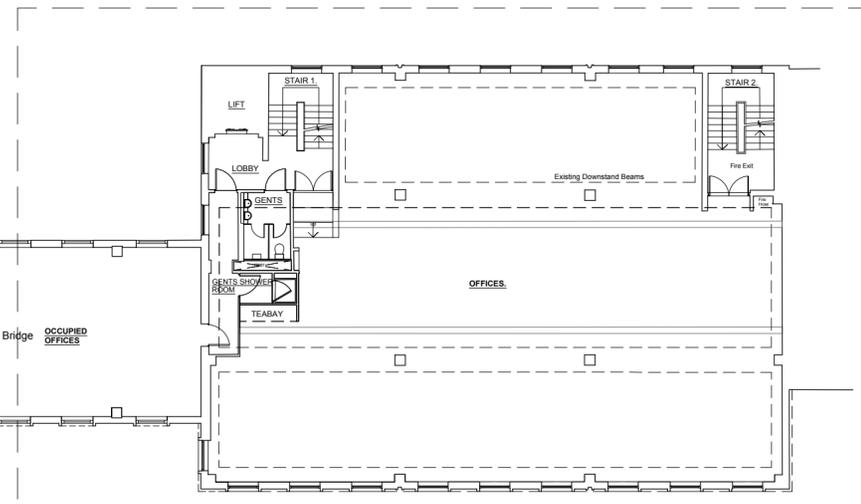


THIRD FLOOR PLAN

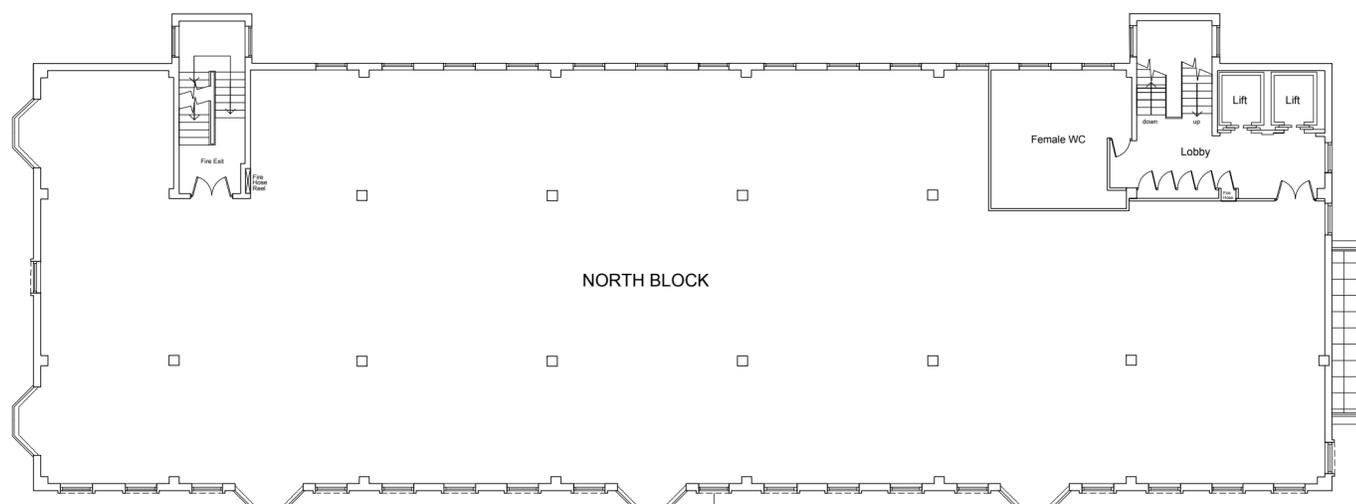
NORTH BLOCK

All windows facing West and North have 'picture frame' box sections to mimic proposals for the South Block

Bay Window glazing replaced with P.C. aluminium tiles at floor level as shown on elevations



REFER : DE/08

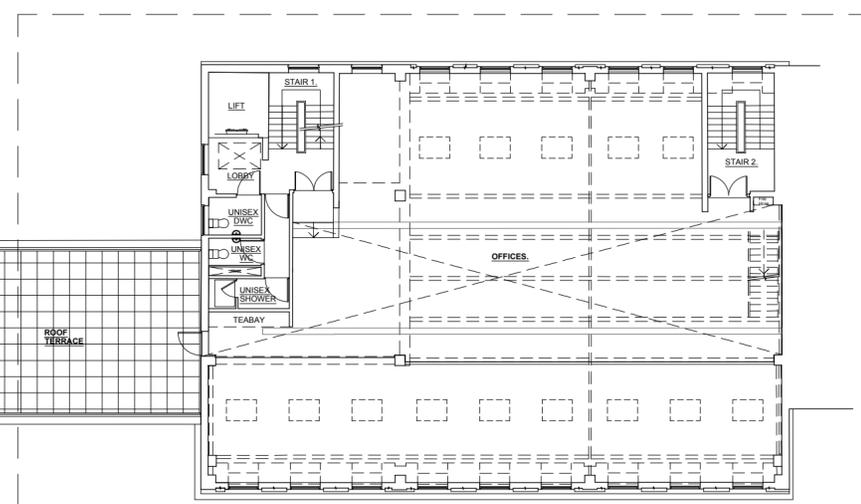


FOURTH FLOOR PLAN

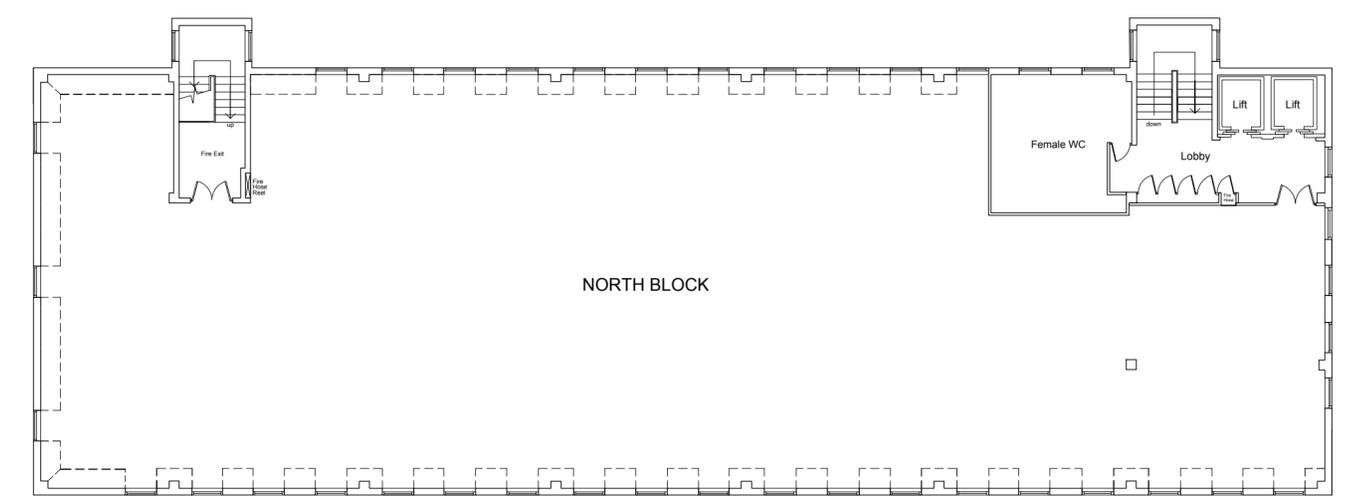
NORTH BLOCK

All windows facing West and North have 'picture frame' box sections to mimic proposals for the South Block

Bay Window glazing replaced with P.C. aluminium tiles at floor level as shown on elevations

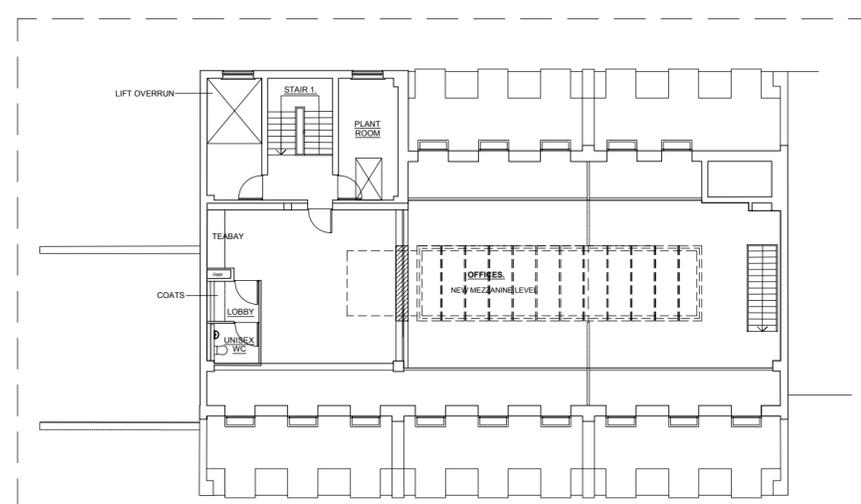


REFER : DE/09

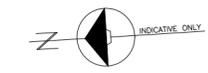


FIFTH FLOOR PLAN

NORTH BLOCK



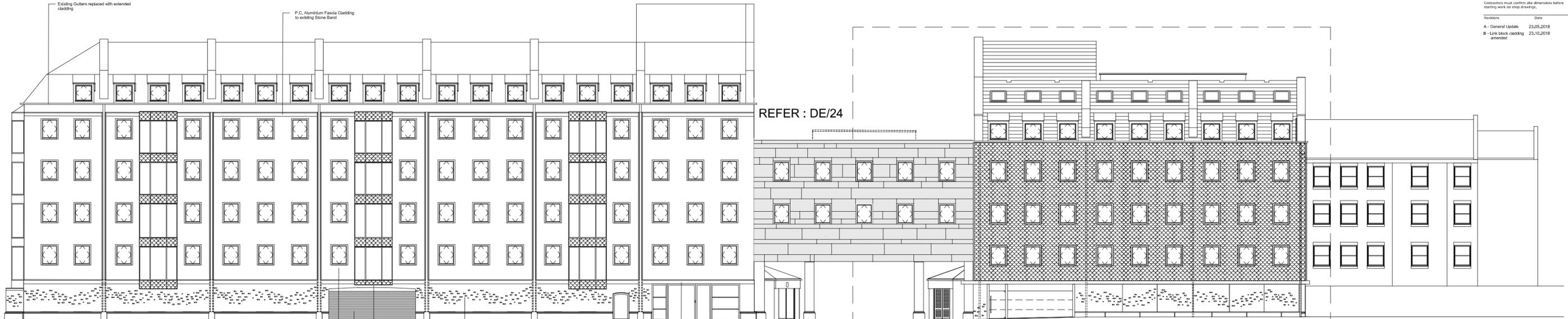
REFER : DE/10



Planning

Bellborough Ltd / Verve Properties
Merchants House, Bristol
Wapping Road, BS1 4RW
Proposed Floor Plans - Sheet 2

Scale: 1:200 @ A2	Date: Apr 2018
4945 DE	03 B



WEST ELEVATION FACING WAPPING ROAD
 REFER : DE/25

'Picture Frames' aluminium boxing around windows

Existing Car Park Shutter to be repainted Dark Grey

Perforated P.C. Aluminium Panels similar to those proposed on the South Block (REFER TO DRAWING : DE/12)

P.C. Aluminium Fascia Cladding too existing Stone Band



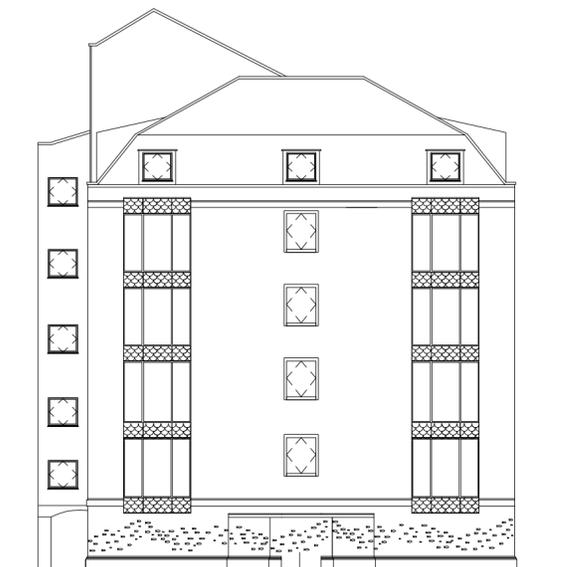
EAST ELEVATION FACING DRAYCOT PLACE

REFER : DE/13

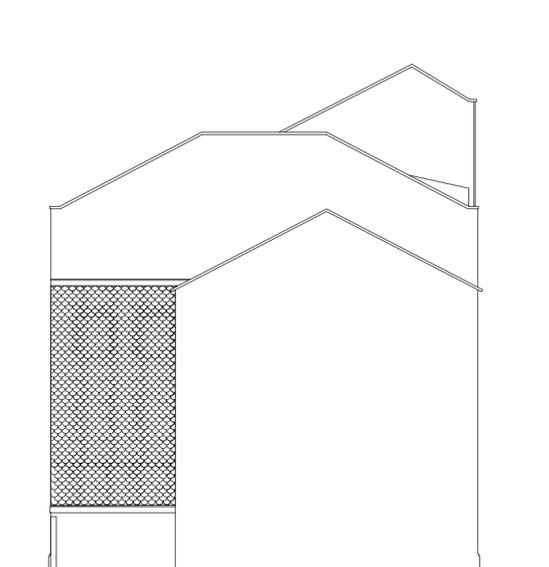
New Double-Glazed Window Units

New Double-Glazed Window Units

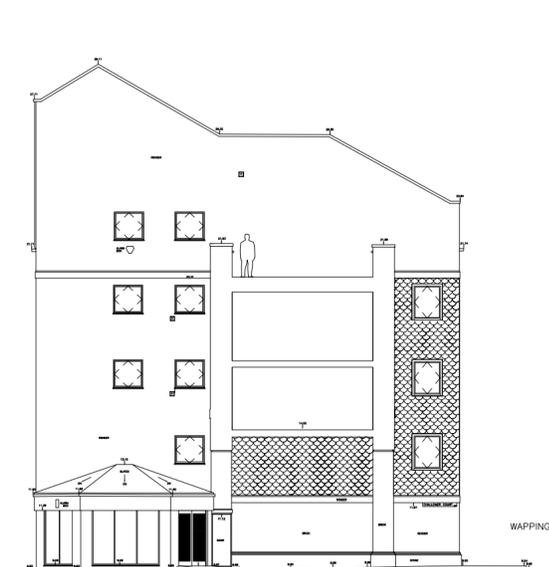
Repair and redecorate all render



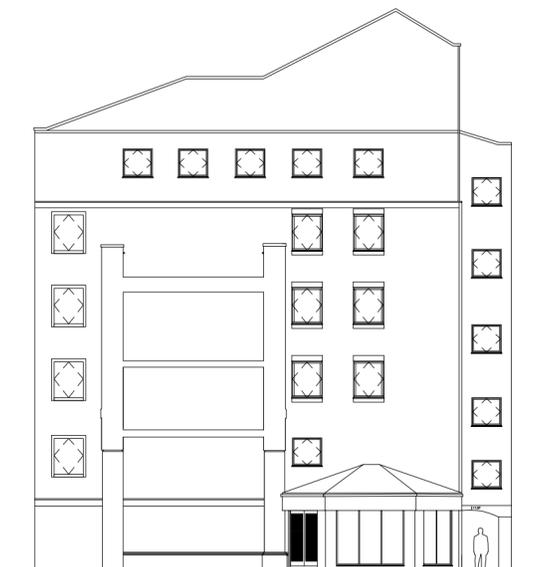
NORTH ELEVATION REFER : DE/23



SOUTH ELEVATION



NORTH FACING SECTIONAL ELEVATION



SOUTH FACING SECTIONAL ELEVATION



Planning

Bellborough Ltd / Verve Properties
 Merchants House, Bristol
 Wapping Road, BS1 4RW

North and South Block

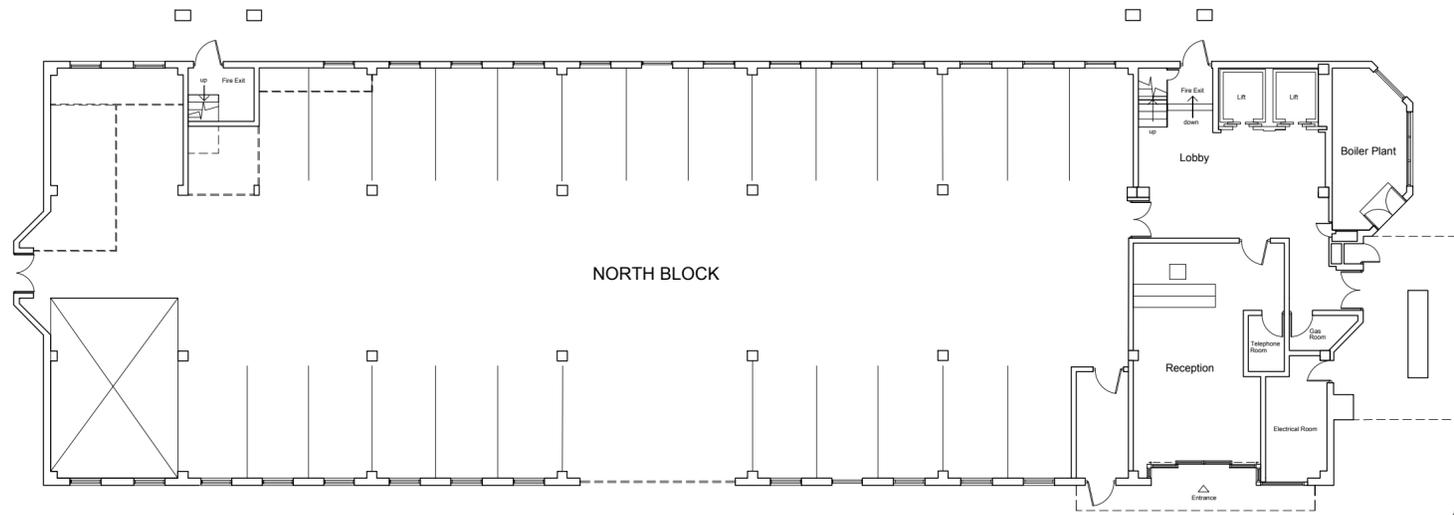
Drawn: EE Authorised:

Scale: 1:200 @ A2 Date: Apr 2018

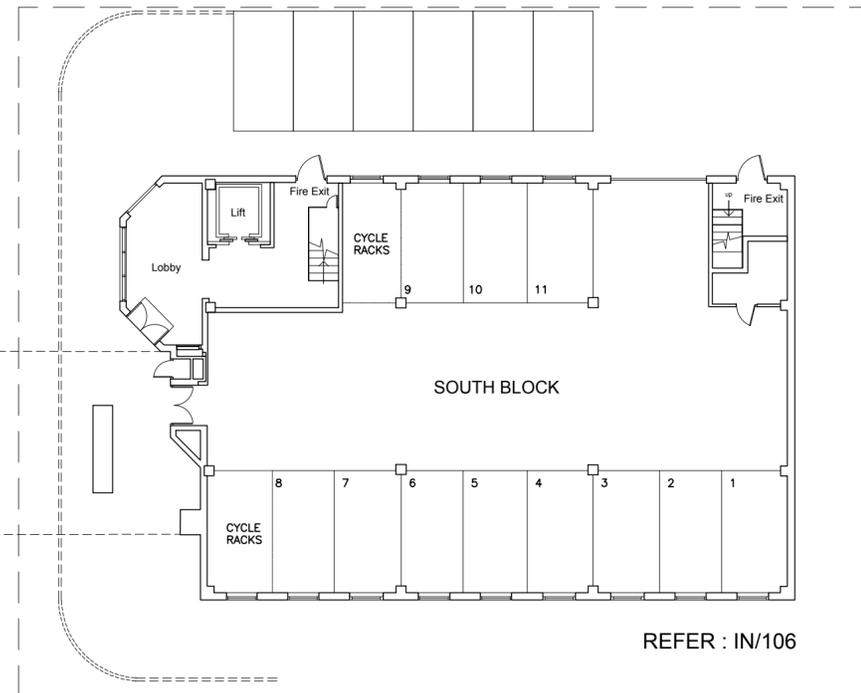
4945	DE	04	B
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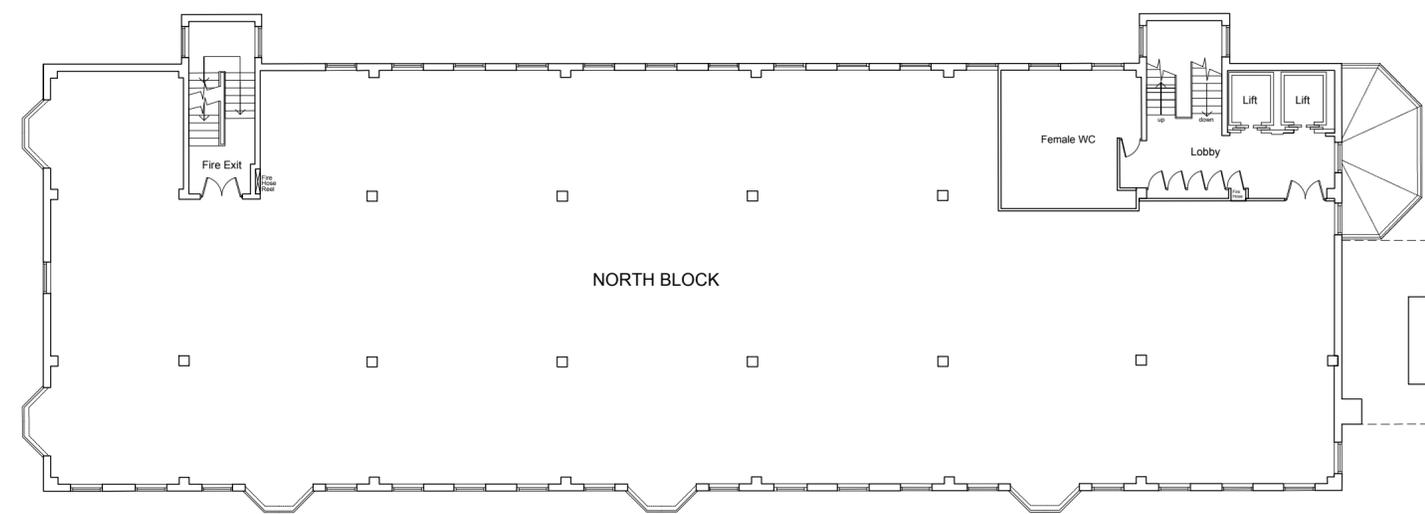
Environments that work



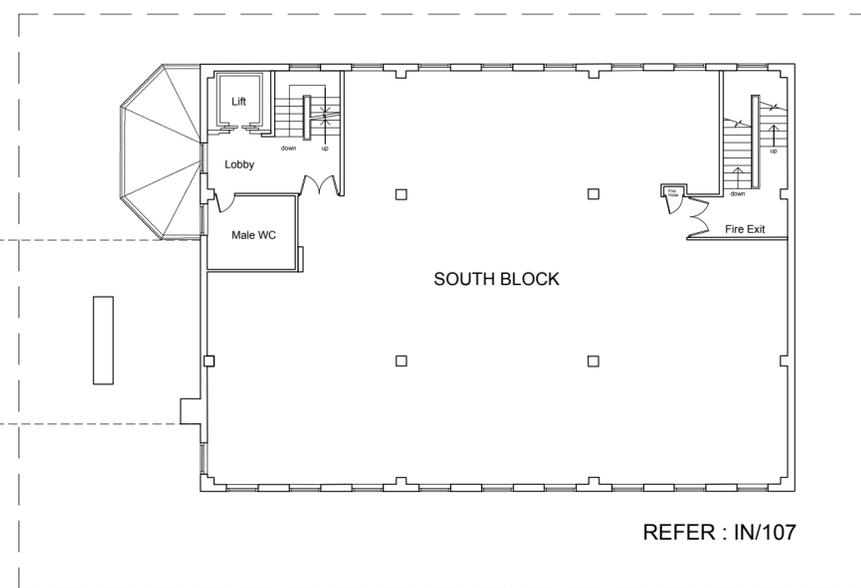
GROUND FLOOR PLAN



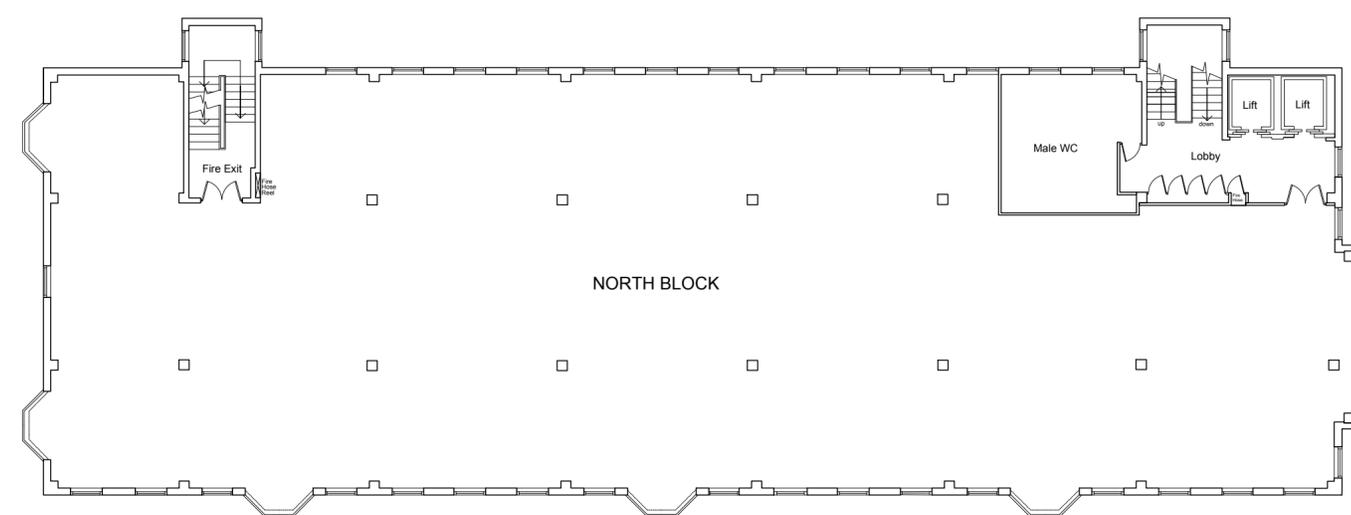
REFER : IN/106



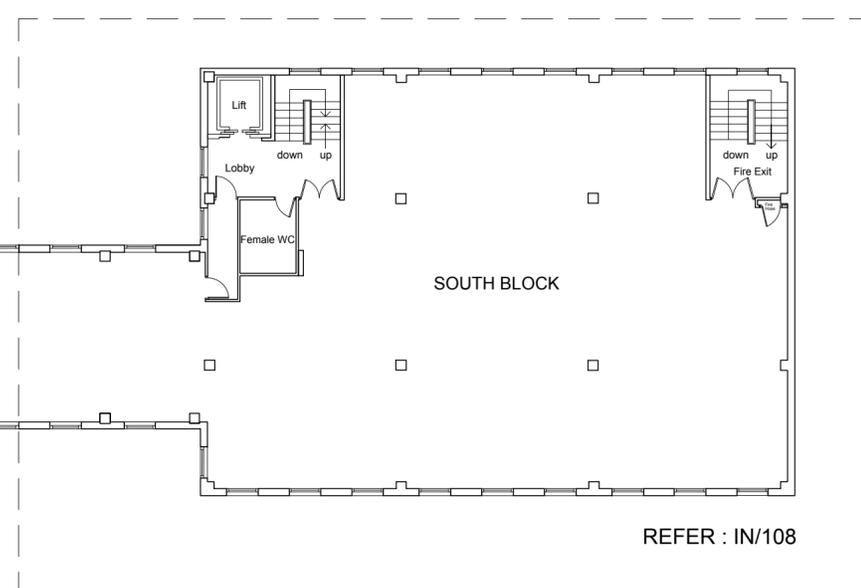
FIRST FLOOR PLAN



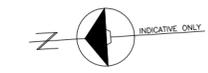
REFER : IN/107



SECOND FLOOR PLAN



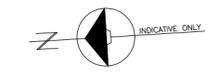
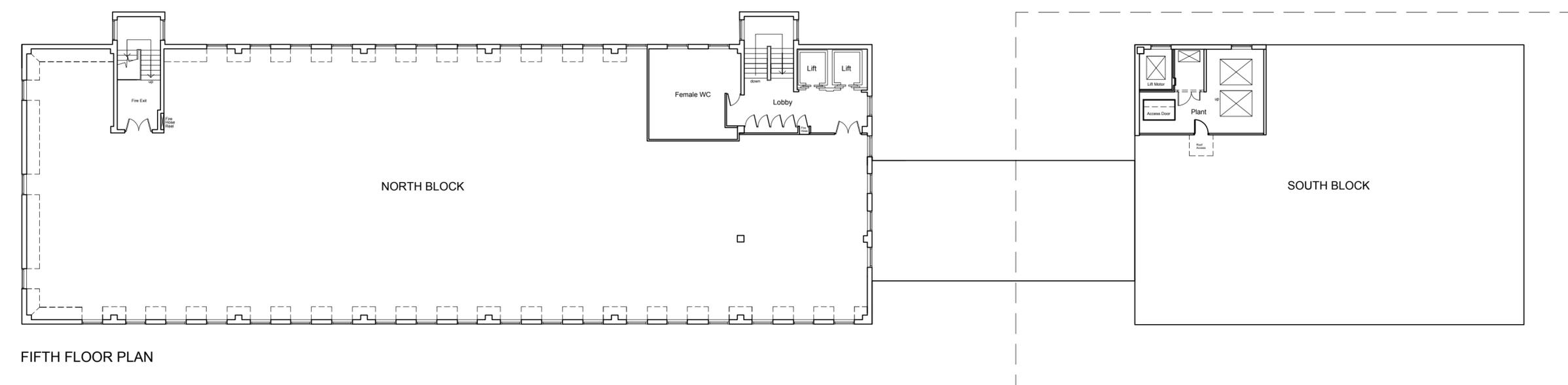
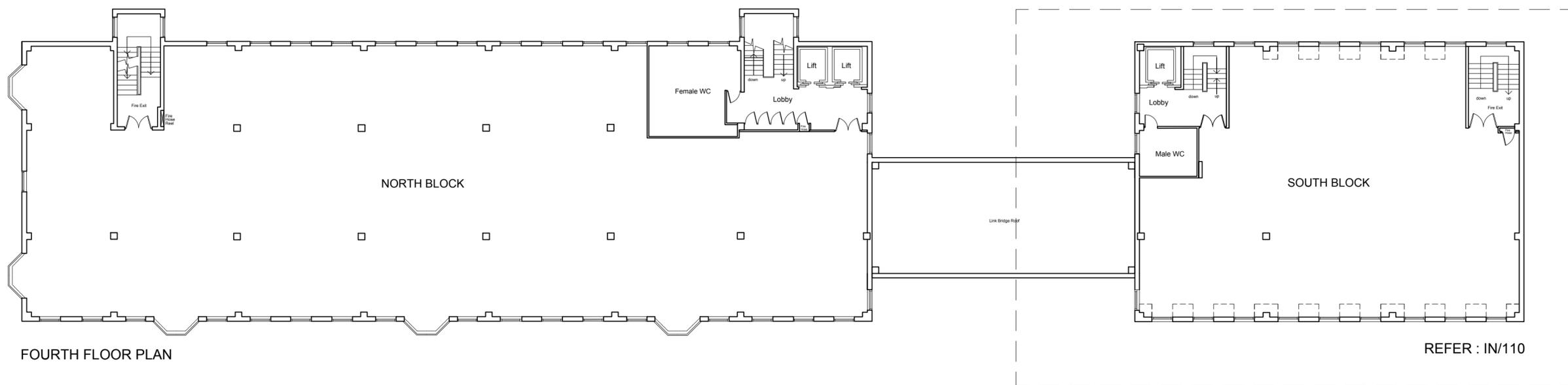
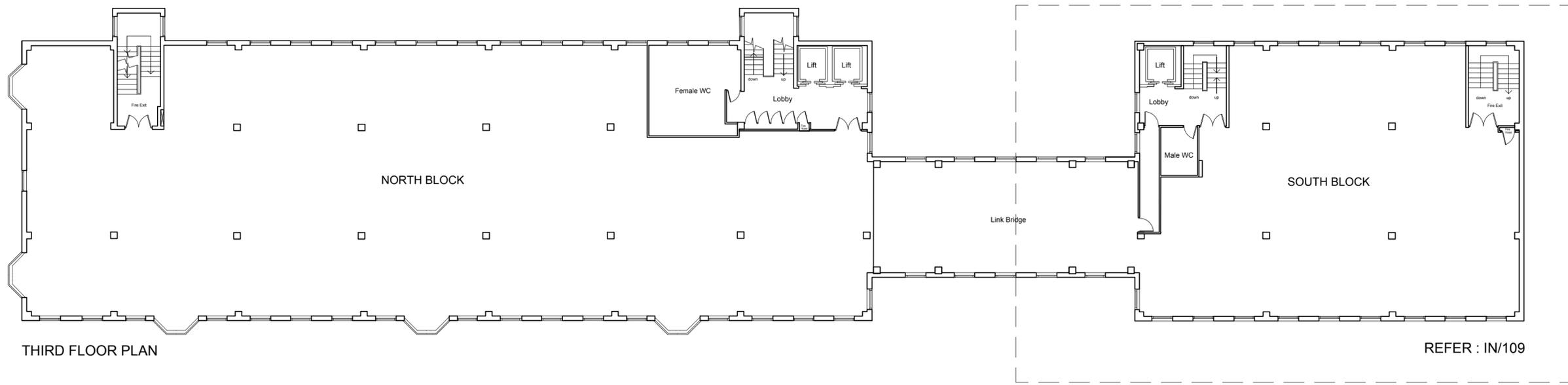
REFER : IN/108



Planning

Belborough Ltd / Verve Properties
Merchants House, Bristol
 Wapping Road, BS1 4RW
 Existing Floor Plans - Sheet 1

Drawn: JWL
 Scale: 1:200 @ A3
 Date: 29 Jun. 2018
 4945 IN 103 A



Planning

Belborough Ltd / Verve Properties
Merchants House, Bristol
 Wapping Road, BS1 4RW
 Existing Floor Plans - Sheet 2

Drawn: EE
 Scale: 1:200 @ A3
 Date: Apr 2018
 4945 IN 104 A

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 www.todayandfoster.com

Environments that work



Viewed from Wapping Road south.

The shingles will wrap around the south elevation.

Planning			
Bellborough Ltd / Verve Properties			
Merchants House, Bristol			
Wapping Road, BS1 4RW			
Viewed from Wapping Road south			
Drawn: EE	Authorised:		
Scale: Not to scale	Date: Apr 2018		
4945	DE	34	A
The Tooley & Foster Partnership ARCHITECTS • DESIGNERS			
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Environments that work			



North block entrance viewed from Wapping Road south.

This entrance will remain as existing, which will tie it well with the proposals.

Planning

Bellborough Ltd / Verve Properties
Merchants House, Bristol
Wapping Road, BS1 4RW
North block entrance viewed from Wapping Road south

Drawn: EE Authorised:

Scale: Not to scale Date: Apr 2018

4945	DE	28	Rev: A
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South block, front perspective.

A new entrance will be created through what is currently one end of the car park. This will be fully glazed giving a street-view through the ground floor office space into a double height central meeting area within.

This will help to create a permeable and more active frontage at street level.

With the intent of creating a vibrant aesthetic, the whole of the front and side elevations will be covered in bespoke, manufactured, aluminium shingles. As they rise up the building they will change from a raw anodised finish to various shades of grey.

The gradual shift from metallic to the flatter tones of greys will give the building a sense of grounding at the upper levels.

This will give a strong, animated aesthetic to the building which currently lacks visual presence.

Planning

Bellborough Ltd / Verve Properties
Merchants House, Bristol
 Wapping Road, BS1 4RW
 South block, front perspective

Drawn: EE Authorised: _____
 Scale: **Not to scale** Date: Apr 2018

4945	DE	31	Rev: A
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Environments that work